



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, September 14, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at www.stpete.org/meetings.

According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

Case No.:	21-90200067
Address:	3049 7 th Ave. N.
Legal Description:	KENWOOD SUB BLK 4, LOTS 8 AND 9
Parcel ID No.:	14-31-16-46332-004-0080
Date of Construction:	1935
Local Landmark:	Kenwood Section – Northwest Kenwood Local Historic District (18-90300008)
Owners:	Lisa Schweitzer and Myron Cohn
Request:	Review of a Certificate of Appropriateness for the construction of a covered rear porch and front yard fence at 3049 7th Ave. N., a contributing resource to a local historic district



Figure 1: Façade (south elevation) of primary residence from 2018 district designation application



Figure 2: Rear (north) elevation of primary residence

Historical Context and Significance

The house at 3049 7th Ave. N. ("the subject property") was constructed in 1935 in the Tudor Revival style. It occupies a double lot facing the northeast corner of the 7th Ave. boulevard at its intersection with 31st St. N. The subject property's unique chimney design is a prominent feature of the façade and makes the house an interesting addition to greater Kenwood's architectural palette.

The subject property is listed as a contributing property to the Kenwood Section – Northwest Kenwood Local Historic District (18-90300008). Exterior repairs and alterations, therefore, require a Certificate of

Appropriateness (COA). Front fences and covered porch additions require review by the Community Planning and Preservation Commission (CPPC) per the City's COA Matrix.

Project Description and Review

Background

A citizen complaint of a 3.5 to 4-foot front fence lacking traditional transparency at the subject property was received by Urban Planning and Historic Preservation (UPHP) Division staff on January 27, 2021. Staff forwarded the comment to the Building Inspection Supervisor, following typical procedure. A violation notice was posted at the subject property. When the notice was not addressed by the property owner by the stated deadline, the case was referred to the area Codes Investigator.

On April 20, 2021, permit BP 21-04001533 for the construction of a covered rear porch at the subject property was submitted by West Coast Lanai on behalf of the owner. When routed through UPHP for review because of the subject property's historic designation status, staff marked the permit "Returned for Corrections" and requested a COA application for the project be filed. Because of the outstanding fence issue, staff also reached out to the owner to arrange a site visit and request an application for both aspects of the project. An application was determined to be complete by UPHP staff following submissions on July 28, 2021.

Project Description

The application includes two elements:

1. After-the-fact review of a COA to construct a four-foot wooden fence around the front yard, and
2. A COA review to construct an approximately 11-foot by 40-foot covered porch affixed to the primary residence's rear (north) elevation.



Figure 3: Staff photograph of front yard fence

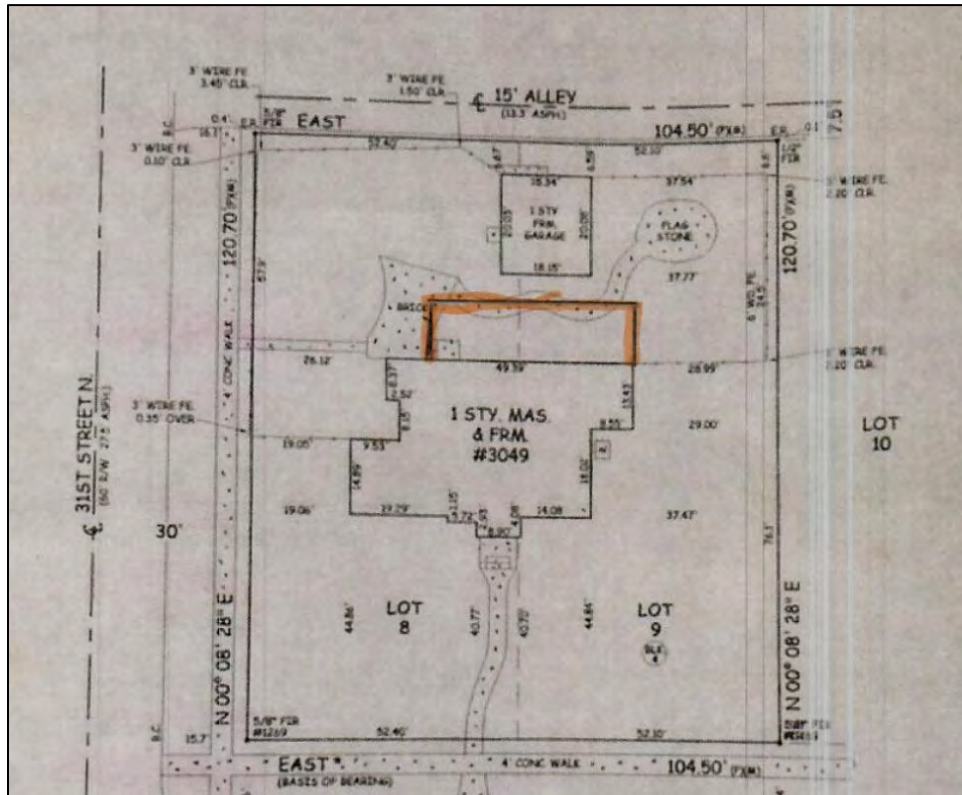


Figure 4: Proposed location of 11-foot by 40-foot porch; image from application



Figure 5: Image of comparably designed and built porch provided by applicant

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Fence

Inconsistent As discussed in the cases of proposals that have come before this Commission in the recent past, fences were less common during Kenwood's Period of Significance than they are now, and open front yards appear to have been particularly favored over individual fenced front gardens.

However, low wood fences with high transparency have become more common throughout the district to accommodate increased recreational use of outdoor spaces. Staff typically recommends that front fences, where necessary, be limited to approximately three feet and feature at least 50 percent transparency to mitigate their visual impact and allow the retention of partial sight lines of the district's front gardens and primary residences. This is important to retain the overall pedestrian orientation that characterizes the historic district. Examples of this style of fence in the subject district are shown below.



Figure 6: Three-foot wooden front and side yard fence with high transparency in subject district (3163 6th Ave. N.)



Figure 7: Three-foot wooden front fence with high transparency in subject district (2836 7th Ave. N.)

Porch

Consistent The porch is proposed to be constructed at the rear of the primary residence. An existing privacy fence at the rear portion of the street side yard will minimize its visibility from the subject district.



Figure 8: Subject property's street side yard from 31st St. N.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Fence

Partially consistent

As noted, front fences were not common historically, but a number have been installed following the Period of Significance. Of the properties that face the intersection of 31st St. N. and 7th Ave. N. (of which the subject property occupies the northeast corner), the remaining three have 3-foot fences facing 7th Ave. N. Two appear to predate the establishment of the subject district; the third was approved by this Commission as COA 21-90200053.



Figure 9: View of southwest (left) and northwest (right) corners of intersection facing subject property. Images via Google Street View, circa 2019

Porch

Consistent The rear covered porch will be minimally visible from outside of the subject property due to its placement behind fencing and existing mature vegetation.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Fence

Partially Consistent The proposed fence creates a visual enclosure of the subject property's front yard, thus changing the historic rhythm of the streetscape. However, its wood material is appropriate for the subject district.

Porch

Partially Consistent The proposed rear structure porch is to be constructed of a foam composite material clad in vinyl and placed atop a poured concrete slab. Though located at the rear of the primary residence and not impacting the appearance of the façade, the flat-roof design and contemporary materials are not typical to the subject district.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

Inconsistent Both the front fence and proposed porch could be constructed with materials and designs that more appropriately reference those traditional to the district without dramatically increasing their cost or usefulness.

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent The proposed project appears to be appropriate under this criterion.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Not applicable The primary house is a contributing element of the Kenwood Section – Northwest Kenwood Local Historic District.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

These criteria are being applied only to the review of the porch addition.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

Consistent The patio roof will be attached to the residence beneath the first floor fascia line and feature a shed roof, thus restricting the height to below that of the primary resource.

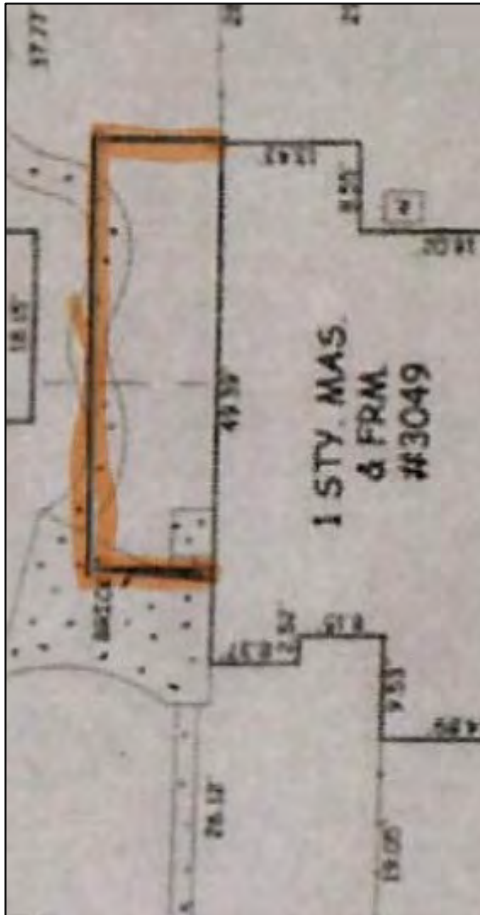


Figure 10: Section of survey with proposed location of porch highlighted, from application materials



Figure 11: Image from application showing proposed connection to primary residence on subject property at rear (north) elevation

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

Consistent The porch addition will be approximately 40 feet at its widest point, and located behind the rear elevation which is 50 feet wide.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

Not applicable The porch will be open.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

Consistent Covered porches and lanais are fairly common to the subject district.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

Consistent The proposed porch addition will be located behind the primary residence at the subject property. It will extend into the rear yard and may be visible from the street side yard but will retain the separation of structures.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

Consistent Shed-roofed rear porches and lanais are fairly common to the subject district.

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

Inconsistent The application proposes a foam and aluminum structure, which is not a traditional construction method.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

Generally consistent The proposed roof will be nearly flat with a slight slope. Shed, gabled, or hipped roofs were more commonly constructed during the historic era, but flatter roofs were sometimes used, particularly for mid-century additions.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

Consistent The porch will be somewhat visible from the street side and alley, but its placement will minimize its impact to the district.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

Consistent

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

Consistent

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

Consistent The proposed porch will not require removal of historic features

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

Consistent The proposed addition could easily be removed without altering the essential form and integrity of the resource.

Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- Fence: 3 of 5 General Criteria for Granting Certificates of Appropriateness fully or partially satisfied.
- Porch:
 - 4 of 5 General Criteria for Granting Certificates of Appropriateness fully or partially satisfied, and
 - 11 of 12 Additional Criteria for New Construction fully or partially satisfied.

The front fence, while being constructed of wood, creates a visual barrier due to its relatively low transparency and tall height as compared to other front fences approved by this Commission. Front yard fences are generally out of context within the Kenwood historic districts but have been approved in certain cases to accommodate owners' changing expectations of privacy and use of garden space. However, staff recommends that the height and design of front fences take the district's historic context into consideration by limiting their visual impact as much as possible when they are necessary.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approval of** the Certificate of Appropriateness request for the installation of a rear porch at 3049 7th Ave. N., a contributing property to the Kenwood Section – Northwest Kenwood Local Historic District, with the following conditions:

1. A historic preservation final inspection will be required.
2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
3. This approval will be valid for 24 months following approval, with an expiration date of September 14, 2023.

Staff recommends **denial** of the after-the-fact application for the front yard fence.

Appendix A:

Application No. 21-90200067



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

3049 7th Avenue South

Property Address

Kenwood

Historic District / Landmark Name

Lisa Schweitzer

Owner's Name

3049 7th Avenue South St. Petersburg, FL. 33713

Owner's Address, City, State, Zip Code

Parcel Identification No.

Corresponding Permit Nos.

Property Owner's Daytime Phone No.

727-560-9082

Owner's Email

playfultherapy@gmail.com

Authorized Representative (Name & Title), if applicable

Representative's Daytime Phone No.

Owner's Address, City, State, Zip Code

Representative's Email

APPLICATION TYPE (Check applicable)

Addition	Window Replacement
<input checked="" type="checkbox"/> New Construction	Door Replacement
Demolition	Roof Replacement
Relocation	Mechanical (e.g. solar)
Other:	

TYPE OF WORK (Check applicable)

Repair Only
In-Kind Replacement
<input checked="" type="checkbox"/> New Installation
Other:

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:** 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:

Date:

4/21/21

Signature of Representative:

Date:

4/21/21



st.petersburg
www.stpete.org

CERTIFICATE OF APPROPRIATENESS

NARRATIVE (PAGE 1 OF 2)

All applications must provide justification for the requested COA based on the criteria set forth in the Historic and Archaeological Preservation Overlay (City Code Section 16.30.070). These criteria are based upon the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties (available on-line at www.nps.gov/history/hps/tps/standards_guidelines.htm). Please type or print clearly. Illegible responses will not be accepted. Please use additional sheets of paper if necessary.

GENERAL INFORMATION

Property Address: 3049 7TH AVENUE SOUTH
ST PETERSBURG FL 33713 COA Case No: _____

Type of Request

- Alteration of building/structure
- New Construction
- Relocation
- Demolition
- Alteration of archaeological site
- Site Work

Proposed Use

- Single-family residence
- Multi-family residence
- Restaurant
- Hotel/Motel
- Office
- Commercial
- Other

Estimated Cost of Work: \$ 8,785⁰⁰

WRITTEN DESCRIPTION OF PROPOSED WORK

Explain what changes will be made to the following architectural elements and how the changes will be accomplished. Please provide a detailed brochure or samples of new materials.

1. Structural System

2. Roof and Roofing System

April 21, 2021

City of St. Petersburg
Planning and Economic Development Department
Urban Planning and Historic Preservation Division
P.O. Box 2842
St. Petersburg, FL 33713

Community Preservation Commission,

Westside Lanai, Inc. a locally owned and operated Company in St. Petersburg, respectfully requests your consideration in the Certificate of Appropriateness Application for property address:

3049 7th Avenue South

St. Petersburg, FL 33713

For homeowner:

Lisa Schweitzer

Westside Lanai's Proposed Project will consist of:

Build of covered Lanai/porch area onto the legal back of the home, at ground level of the home, with a 3" insulated roof approximately 12'x32'. With 3 Fan Beams, 6"x6" posts, 4"x8" Carrier Beam around build. Vinyl Bead Board Soffit to match existing covering on home. Addition of Concrete Slab for build approximately 11'x40' with (2) steps. The Concrete Slab will be topped with Travertine Tile to provide visual appeal. Photo Images are attached of the current condition of the proposed build area and a conceptual image of the proposed build.

Westside Lanai will use materials that meet current building codes/standards and ordinances for outdoor structures while matching the aesthetics of the home's historic nature. All joinery materials to the home will be seamless and create visual appeal. No windows will be blocked or altered for this project. Design will allow for continued visual compatibility with the rest of the home and the build itself. Height and elevation of the project will be consistent with the home's visual appearance/compatibility.

The Homeowner and Westside Lanai wish to improve the overall appearance of the back of the home while maintaining the visual appeal and compatibility of the home's historic nature.

Thank you for your time and consideration in this matter.

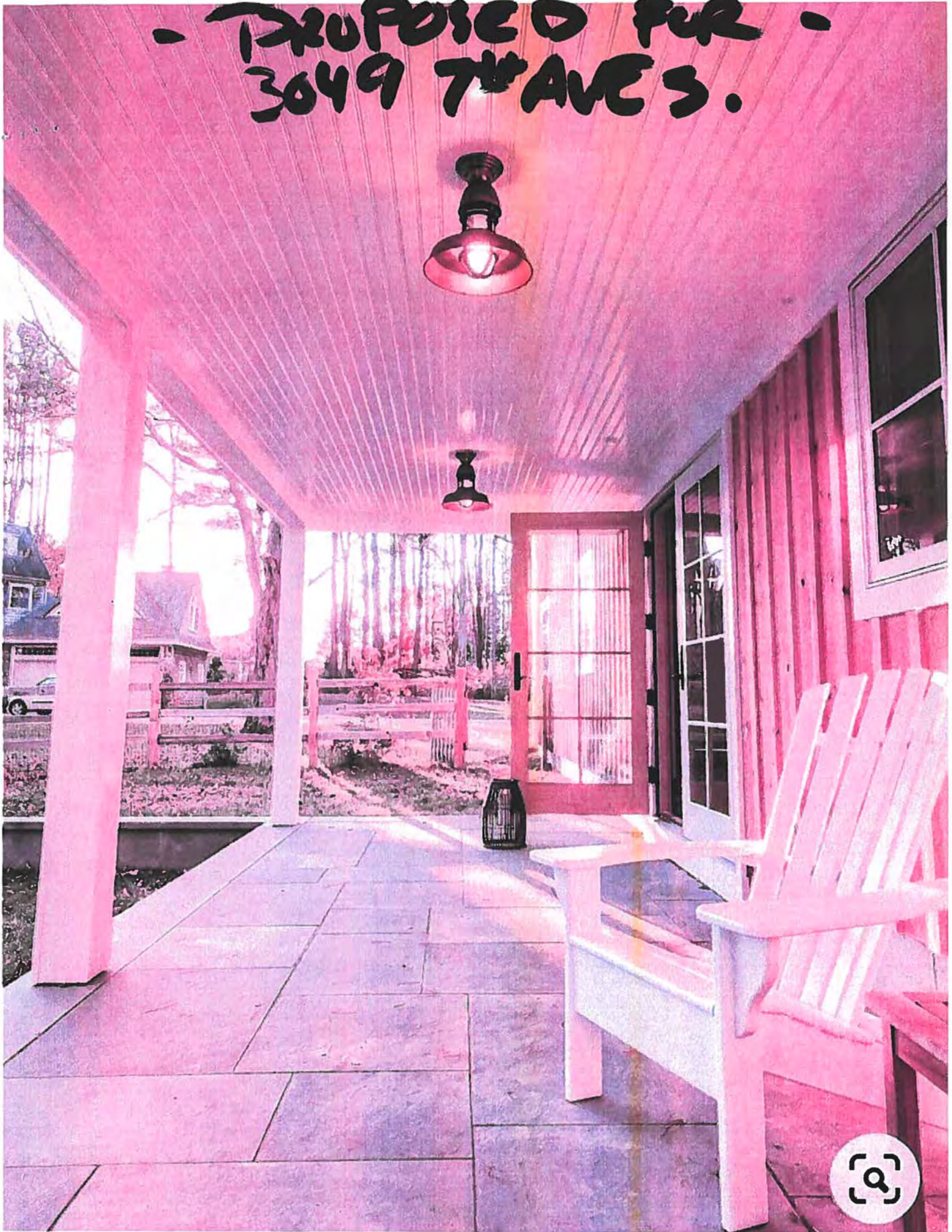
Sincerely,

Justin D. Plank
Westside Lanai, Owner

3049 7th AVE S.
CURRENT



- PROPOSED FOR -
3049 7th AVE S.



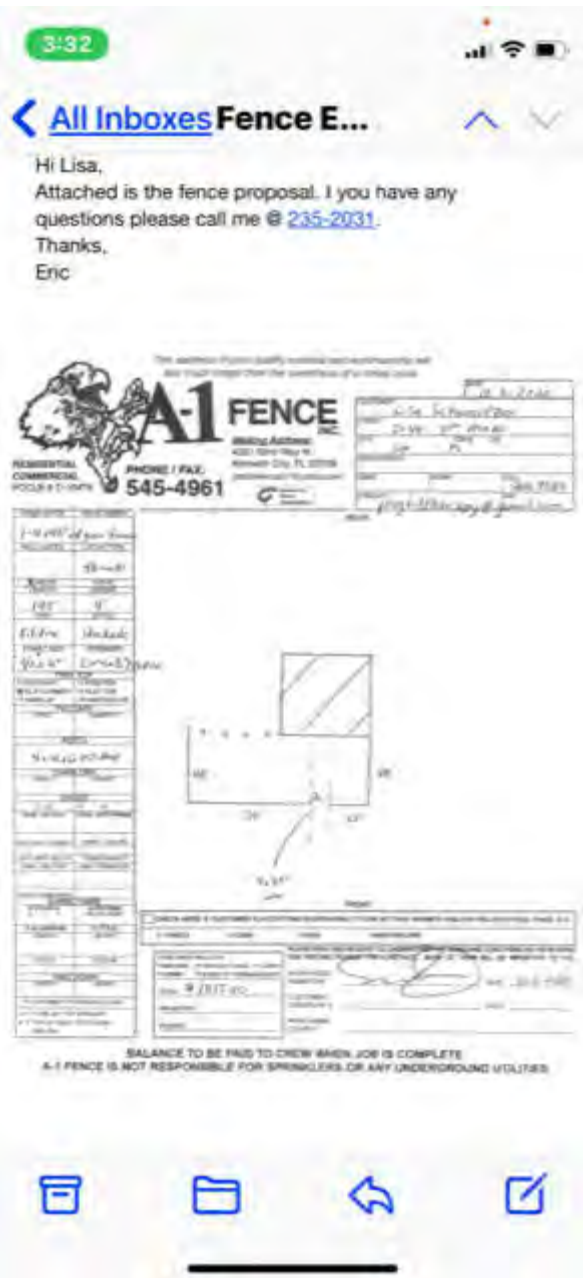
Laura Duvekot

From: Lisa Schweitzer <playfultherapy@gmail.com>
Sent: Thursday, May 13, 2021 3:35 PM
To: Laura Duvekot
Subject: Re: Lanai / Fence COA applications for 3049 7th Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Wood fence.

Lanai. Materials are.
Aluminum posts and frame
concrete slab w tile on top
Aluminum roof w vinyl ceiling



Lisa Schweitzer LMHC,RPT
<http://www.playful-therapy.com>
Counseling for children and the grown-ups who love them
727.560.9082

On May 12, 2021, at 9:01 AM, Laura Duvokot <Laura.Duvokot@stpete.org> wrote:

Great, can I meet you at the site, 3049 7th Ave N, tomorrow 5/13 at 3pm to discuss?

Best regards,

Laura Duvekot
Historic Preservationist II
Urban Planning and Historic Preservation Division
Planning and Development Services Department
City of St. Petersburg, Florida

727.892.5451
laura.duvekot@stpete.org

From: Lisa Schweitzer <playfultherapy@gmail.com>
Sent: Tuesday, May 11, 2021 5:02 PM
To: Laura Duvekot <Laura.Duvekot@stpete.org>
Subject: Re: Lanai / Fence COA applications for 3049 7th Ave N

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Site visit definitely. Thursday is best here.

Thank you!

Lisa Schweitzer LMHC,RPT
<http://www.playful-therapy.com>
Counseling for children and the grown-ups who love them
727.560.9082

On May 11, 2021, at 4:35 PM, Laura Duvekot <Laura.Duvekot@stpete.org> wrote:

Would a site visit or a Zoom meeting be more helpful for you? I'm available for either tomorrow afternoon or Thursday after 2pm.

Best regards,

Laura Duvekot
Historic Preservationist II
Urban Planning and Historic Preservation Division
Planning and Development Services Department
City of St. Petersburg, Florida

727.892.5451
laura.duvekot@stpete.org

From: Lisa Schweitzer <playfultherapy@gmail.com>
Sent: Tuesday, May 11, 2021 1:26 PM
To: Laura Duvekot <Laura.Duvekot@stpete.org>
Subject: Re: Lanai / Fence COA applications for 3049 7th Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I would love some help. I have gotten three notices about the fence and I've called every time but no one ever calls me back the fence wasn't new, it was just being finished I had already had a beginning of a fence when I had the rest completed

Thank you

Lisa Schweitzer LMHC,RPT
<http://www.playful-therapy.com>
Counseling for children and the grown-ups who love them
727.560.9082

On May 11, 2021, at 12:46 PM, Laura Duvekot
<Laura.Duvekot@stpete.org> wrote:

Good afternoon –

I received the COA application for a lanai at 3049 7th Ave N; thank you for the submission. According to the matrix attached to the COA application, porches with roofs need to be reviewed by the Community Planning and Preservation (CPPC) at public hearing. I also need more information on the materials, a survey/site plan to determine the location, and information on the proposed doors if you're planning on adding an opening, dealing with an elevation.

The CPPC meets monthly, and the deadline for the July 13 hearing is coming up this Friday, May 14. Let me know if I can help with the application.

I also note that there is an outstanding need for an after-the-fact COA for a front and side yard fence at this property, which would also require CPPC hearing. If you'd like we can work on packaging the two items into a single application.

Let me know if you'd like to set up a call or site visit. Many thanks.

Best regards,

Laura Duvekot
Historic Preservationist II
Urban Planning and Historic Preservation Division
Planning and Development Services Department
City of St. Petersburg, Florida

727.892.5451

laura.duvekot@stpete.org

[Your Sunshine City](#)

<COA Application Package.pdf>

DRAWN BY DM CHECKED BY EDM

PROFESSIONAL LAND SURVEYORS

5760 11TH AVENUE NORTH ST. PETERSBURG, FLORIDA 33710 WWW.MURPHYSLANDSURVEYING.COM

PH. (727) 347-8740

FAX (727) 344-4640

DATE OF FIELD WORK 03/23/13

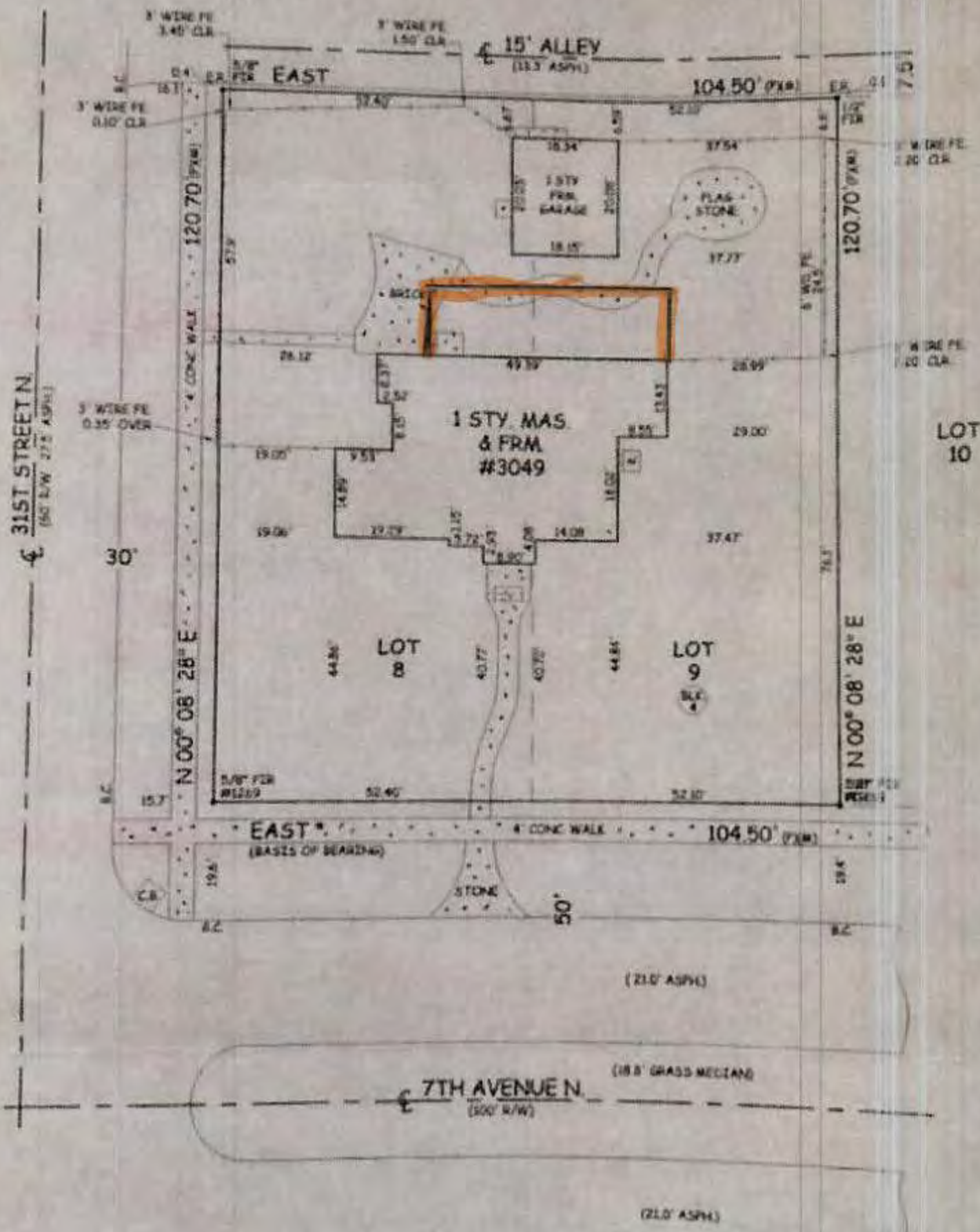
CERTIFIED TO: Lisa Schweitzer Stifel Bank JEM Title Services, LLC d/b/a Crimmins Title Fidelity National Title Insurance Company

SCALE: 1" = 30'

Survey not valid for more than one (1) year from date of field work.

SEC. 14 TWP. 31 S. RGE. 16 E

NORTH (ASSUMED)



BOUNDARY SURVEY OF: Lots 8 and 9, Block 4, KENWOOD SUBDIVISION, as recorded in Plat Book 3, Page 25 of the Public Records of Pinellas County, Florida.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X Comm. Panel No.: 125148 0218 G Map Date: 9/03/03 Base Flood Elev: NA

THE EXCLUSIVE USE OF THE HEREON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE...



20/2

Hist

Application # 21-04001533

PERMIT APPLICATION

Flood Zone X

All information must be filled-in completely

One Fourth Street North, St. Petersburg, FL 33701 (P.O. Box 2842, 33731)
Telephone (727) 893-7231 / Fax (727) 892-5447 / e-Mail: permits@stpete.org

WWP:

Date of application: 4/9/21	Affordable Housing Eligible: <input type="checkbox"/> Yes
PROJECT SITE: 3049 7 th AVE W.	PROPERTY OWNER:
Project or Tenant: USA SCHWEITZER	Name: USA SCHWEITZER
Address: 3049 7 th AVE N.	Address: 3049 7 th AVE N. Unit #:
Unit #:	City, State, Zip: ST PETERSBURG, FL 33713
PIN:	Phone: Email:

CONTRACTOR:

Company: WESTSIDE CANAL
 Name: JUSTIN PLANK
 Contractor's License #: C-11201 Email: JUSTINPLANK@WESTSIDELANAL.COM
 Phone: 727-331-7415 Cell: Fax:

ARCHITECT / ENGINEER:

Company: FBC PLANS & ENGINEERING
 Name:
 State License #: C.O.A. # 29054 Email: ERB@FBCPLANS.COM
 Phone: 813-788-5314 Cell: Fax: 1866-824-7894

AFFIDAVIT: Application is hereby made to obtain a permit to do work and installations as indicated. I certify that all foregoing information is accurate and that all work will comply with all applicable codes. I understand these codes shall take precedence over all approved construction documents, and issuance of this permit is verification that I will notify the property owner of Florida Lien Law req., F.S. 713.135.
 Link: <http://www.leg.state.fl.us/Statutes/index.cfm>

NOTICE: FBC 6th Edition (2017) 105.3.3. In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies. Additional plan review approval may be required by other City departments such as Zoning, Historic Preservation and Water Resources. This property may be located in a deed restricted community.
 Link: <http://floridabuilding2.iccsafe.org/>

ASBESTOS Notification: FBC 6th Edition (2017) 105.9 (received customer asbestos notification). The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's responsibility to comply with the provisions of Section 469.003, Florida Statutes, and to notify the Department of Environmental Protection of his or her intentions to remove asbestos, when applicable, in accordance with state and federal law.
 Link: <http://floridabuilding2.iccsafe.org/>

OWNER/CONTRACTOR DISCLOSURE STATEMENT: Owner must appear in person and sign Disclosure Statement in addition to this permit application. [Link to Disclosure Statement Document](#)

All work shall comply with the applicable Florida Building Code

Justin Plank
 Applicant Print Name
 Applicant Signature
 Date 4/9/21
 Permit Technician
 (or) Notary
 Date 4/9/21

Applicant is personally known to me or produced _____ as identification.
 (type of identification)

Applicant Initial _____



PERMIT APPLICATION

Is this application for a change of use or occupancy? Yes No

Occupancy Group: (check one) per FBC Ch. 3 – Section 302 Classification: *Link: <http://floridabuilding2.iccsafe.org/>*

- | | | | |
|--------------------------------------|--|--|---|
| <input type="checkbox"/> Assembly | <input type="checkbox"/> Business | <input type="checkbox"/> Educational | <input type="checkbox"/> Factory & Industrial |
| <input type="checkbox"/> High Hazard | <input type="checkbox"/> Institutional | <input type="checkbox"/> Mercantile | <input type="checkbox"/> Residential |
| <input type="checkbox"/> Storage | <input type="checkbox"/> Day Care | <input type="checkbox"/> Utility and Miscellaneous | |

Type of Construction (per FBC Ch. 6): I II III IV V

Protected / Unprotected: A or B (check one)

Fire Sprinkler: Y or N (check one) Fire Alarm: Y or N (check one)

General 'Scope of Work' description:

*LANAI BUILD APPROX. 12' X 32' (3) FAN
BEAMS, 6X6 POSTS, 4' X 8' CARRIER BEAM ALL
THE WAY AROUND, 12' X 32' CONCRETE SLAB WITH STEPS*

Please complete the following information for the sub-trades:

<p>Electrical \$ _____ value</p> <input type="checkbox"/> New service _____ amps <input type="checkbox"/> Service upgrade _____ amps <input type="checkbox"/> # of meters _____ <input type="checkbox"/> # of panels _____ <input type="checkbox"/> Relocate service _____ <input type="checkbox"/> # of altered circuits _____ <input type="checkbox"/> # of new circuits _____ <input type="checkbox"/> Temporary sawpole _____ amps <input type="checkbox"/> Fire Alarm _____ <input type="checkbox"/> Security _____ <input type="checkbox"/> Smoke detector _____ <input type="checkbox"/> Carbon monoxide detector _____ <input type="checkbox"/> Data/Comm _____ <input type="checkbox"/> Solar / PV _____ <input type="checkbox"/> Other _____	<p>Mechanical \$ _____ value</p> <input type="checkbox"/> New Install _____ tons <input type="checkbox"/> Replacement _____ tons <input type="checkbox"/> Package unit _____ tons <input type="checkbox"/> # of condensers _____ <input type="checkbox"/> # of air handlers _____ <input type="checkbox"/> Vertical _____ <input type="checkbox"/> Horizontal _____ <input type="checkbox"/> Furnace _____ <input type="checkbox"/> # of returns _____ <input type="checkbox"/> # of supplies _____ <input type="checkbox"/> Heat strip size _____ KW <input type="checkbox"/> Generator _____ <input type="checkbox"/> Kitchen hood _____ <input type="checkbox"/> Exhaust fans _____ <input type="checkbox"/> Roof top _____ <input type="checkbox"/> SEERS _____ <input type="checkbox"/> HOV _____ <input type="checkbox"/> Other _____	<p>Building \$8,785 value</p> <input type="checkbox"/> Exterior cladding _____ <input type="checkbox"/> Roof _____ <input type="checkbox"/> Driveway _____ <input type="checkbox"/> Window replacement _____ <input type="checkbox"/> Demo entire structure _____ S.F. <input type="checkbox"/> New Construction _____ S.F. <input type="checkbox"/> Remodel _____ S.F. <input type="checkbox"/> Mobile Home Removal _____ <input type="checkbox"/> Mobile Home Installation _____ <input type="checkbox"/> Signs _____ <input type="checkbox"/> Residential Encl. _____ S.F. <input type="checkbox"/> Other _____
<p>Gas \$ _____ value</p> <input type="checkbox"/> New _____ <input type="checkbox"/> Replacement _____ <input type="checkbox"/> Natural _____ <input type="checkbox"/> Propane _____ <input type="checkbox"/> Equipment _____ <input type="checkbox"/> Piping ft. _____ <input type="checkbox"/> Venting ft. _____ <input type="checkbox"/> Tank _____ size <input type="checkbox"/> Type of tank _____ <input type="checkbox"/> Water heater _____ <input type="checkbox"/> Other _____	<p>Plumbing \$ _____ value</p> <input type="checkbox"/> # added water closets _____ <input type="checkbox"/> # changed water closets _____ <input type="checkbox"/> # of bathtubs _____ <input type="checkbox"/> # of showers _____ <input type="checkbox"/> # of lavatories _____ <input type="checkbox"/> # of water heaters _____ <input type="checkbox"/> Sewer line ft. _____ <input type="checkbox"/> Water line ft. _____ <input type="checkbox"/> Tankless water heater _____ <input type="checkbox"/> Solar _____ <input type="checkbox"/> Other _____	<p>Fire \$ _____ value</p> <input type="checkbox"/> Fire Alarm _____ <input type="checkbox"/> Fire Sprinkler _____ type <input type="checkbox"/> Fire Suppression _____ <input type="checkbox"/> Fire Separation _____ hrs <input type="checkbox"/> Other _____
<p>FEMA Information</p> <input type="checkbox"/> Flood Zone _____ <input type="checkbox"/> Required Elevation _____ <input type="checkbox"/> Lowest Finished Floor _____ <input type="checkbox"/> RCD Value _____ <input type="checkbox"/> Maximum Improvement _____ <p><i>Municode Ch. 16.40.050 Link: http://library.municode.com/HTML/11602/level3/PTIISTPECO_CH16LADERE_S16.40.050FLMA.html</i></p>		

Total Estimated Construction Value: \$0 8,785⁰⁰

Applicant Initial *[Signature]*

PERMIT APPLICATION

CS&P USE ONLY	
C.O. Required:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Flood Zone:	<input checked="" type="checkbox"/>
Design Flood Elevation (including freeboard):	_____
Florida Building Code Edition:	<u>2020</u>
Occupancy Group:	<u>R</u>
Occupancy Type:	<u>SFR</u>
Construction Type:	<u>V-B</u>
Design Occupant Load:	_____
Number of Units:	<u>1</u>
Number of Stories:	<u>1</u>
Fire Sprinkler:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fire Alarm:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Square Foot: Altered/Additional:	_____
Threshold Building:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Sewer Connection New:	_____
Sewer Connection Credits:	_____
Sewer Connection Due:	_____
Certificate of Concurrency:	_____
TIF District Zone:	<u>30 P¹</u>
Plan Reviewer:	<u>DWJ</u>
	(Print Name)

PERMIT APPLICATION

Zoning Use Only

Zoning District: NT-2
Approved for: Rear covered patio. SR complies.

Setbacks per Approved Plan				
Structure	<u>Corner</u>			
Front	<u>-</u>			
Left	<u>35'</u>			
Right	<u>28'</u>			
Rear	<u>32'</u>			

CPC/ COA/ DRC # _____
Tree Permit # _____

NOTE: Tree removal not included, a separate tree removal is required for the removal of Code protected trees

Sign Type: _____

Right-of-Way work:
Driveway type _____
Front walkway _____
Public sidewalk _____
Zoning Conditions of Approval: _____

Zoning reviewer: Cheryl Bergan
(Print Name)

Permit Number _____
Parcel ID Number _____

NOTICE OF COMMENCEMENT

State of Florida
County of Pinellas

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

✓ 1. Description of property (legal description): 2 story House abdr. 3 bath
a) Street (job) Address: 3049 7th Ave N. ST PETERSBURG FL 33713
2. General description of improvements: LANAI BUILD 12' X 32' w/ concrete

✓ 3. Owner Information or Lessee information if the Lessee contracted for the improvement:
a) Name and address: LISA Schweitzer 3049 7th Ave N. ST PETERSBURG FL 33713
b) Name and address of fee simple titleholder (if different than Owner listed above) _____
c) Interest in property: _____

4. Contractor Information
a) Name and address: Westside Lanai. 4029 8th Ave S, St. Petersburg, FL 33711
b) Telephone No.: 727-331-7415 Fax No.: (optional) _____

5. Surety (if applicable, a copy of the payment bond is attached)
a) Name and address: _____
b) Telephone No.: _____
c) Amount of Bond: \$ _____

✓ 6. Lender
a) Name and address: WELLS FARGO
b) Telephone No.: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No.: (optional) _____

8. a. In addition to himself or herself, Owner designates _____ of _____
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
b) Phone Number of Person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date may not be before the completion of construction and final payment to the contractor, but will be 1 year from the date of recording unless a different date is specified): _____, 20____

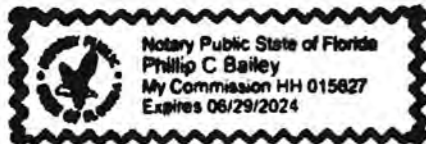
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Under penalty of perjury, I declare that I have read the foregoing notice of commencement and that the facts stated therein are true to the best of my knowledge and belief.

(Signature of Owner or Lessee, or Owner's or Lessee's (Authorized Officer/Director/Partner/Manager) _____
The foregoing instrument was acknowledged before me this 11th day of FEBRUARY, 2021
by LISA SCHWEITZER as OWNER, as _____ (type of authority, e.g. officer, trustee, attorney in fact)
for _____, as _____ (Name of Person) _____ (type of authority, e.g. officer, trustee, attorney in fact)
for _____ (name of party on behalf of whom instrument was executed).

Personally Known Produced ID

Type of ID _____ Notary Signature Philip C. Bailey
Print name Philip C. Bailey





727-331-7415
Licensed & Insured #C-11201

www.westsidelanai.com

4029 8th Ave. S • St. Petersburg, FL 33711

CUSTOM LANAIS, PERGOLAS, CARPORTS, AWNINGS, SCREEN ROOMS, POOL ENCLOSURES AND MORE!

17739
2/9/21 DATE

PROPOSAL

Lisa Schweitzer 727-560-9082
 PROPOSAL - SUBMITTED TO 3049 7th Ave N
 STREET St Pete 33713
 CITY, STATE, ZIP
 ARCHITECT DATE OF PLANS JOB PHONE

We hereby submit specifications and estimates for:

Fancy Lanai Approx 12x32
 3 for Beam's, 6x6 Post
 4x8 carrier beam all the way
 around, \$5785
 12x40 = 7,200
 concrete slab 12'x32'
 with steps to match
 3,000
 12x40 = 3,600
 Vinyl Bead board soff. tt
 12x40 = 1,400
 * Bead timeless tile 27
 2857766

SCREEN: 18/14 20/20
 SCREEN COLOR:
 FLORIDA GLASS:
 KICKPLATES:
 FLAT: GABLE: HIP:
 DOME: MANSARD:
 ALUMINUM ROOF:
 DOORS:
 FRAME COLOR: BRZ WHT
 GUTTERS:
 LOT: BLOCK:
 SUBDIVISION:
 HEIGHT: OR LESS
 WALLS:

We Propose hereby to furnish material and labor-complete in accordance with above specifications for the sum of:

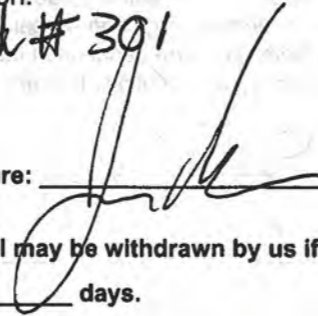
\$ _____ with 1/3 down, 1/3 at show and 1/3 upon completion.

- All work includes engineering & Permit - 30,000 - check # 391
- 2 year warranty on labor - Deposit

Acceptance of Proposal

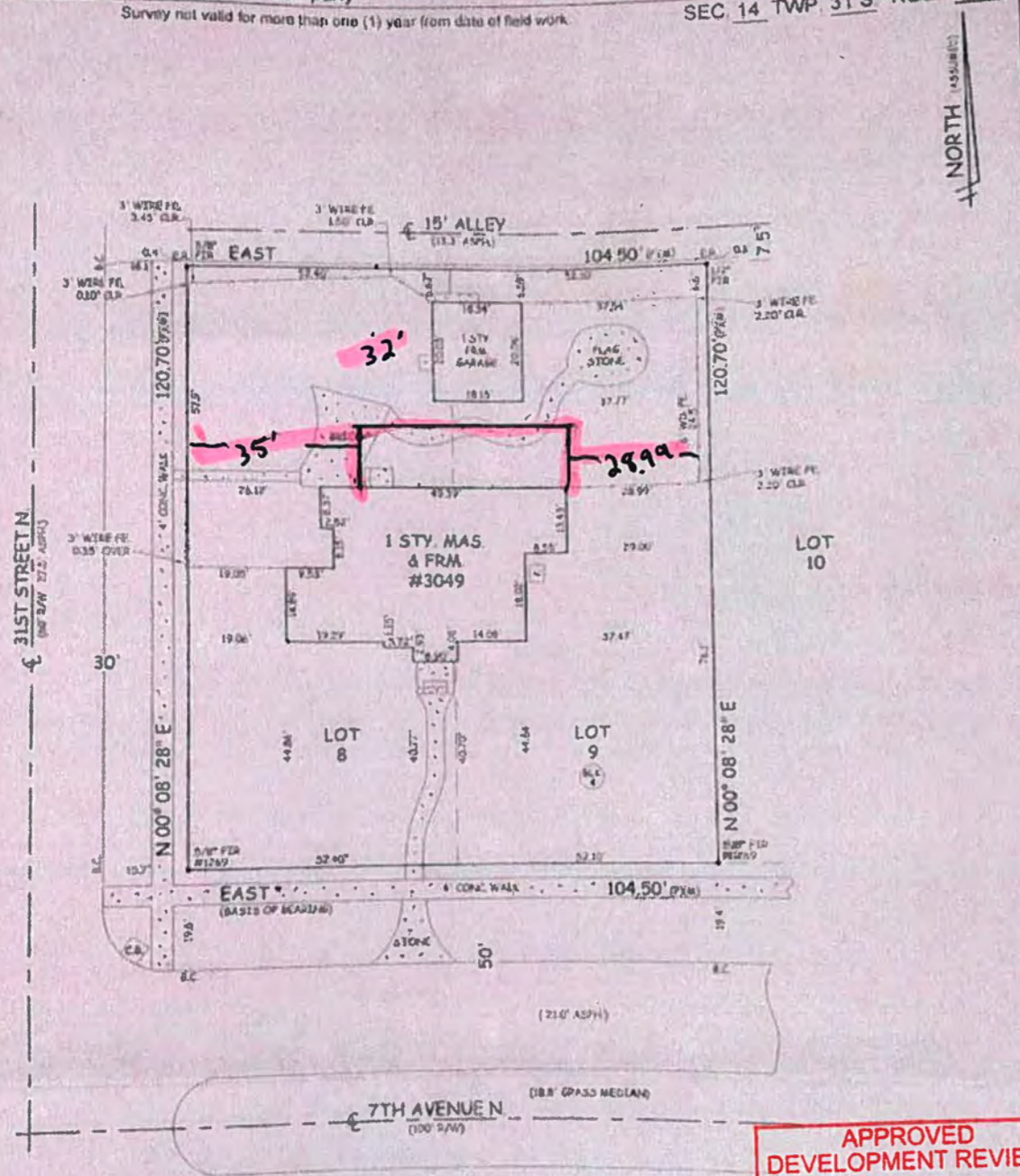
The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: 2/9/21

Authorized Signature: 
 Note: This proposal may be withdrawn by us if not accepted within _____ days.

DRAWN BY: DM
 CHECKED BY: EDM
 DATE OF FIELD WORK: 03/23/13
PROFESSIONAL LAND SURVEYORS
 5760 11TH AVENUE NORTH
 ST. PETERSBURG, FLORIDA 33710
 WWW.MURPHYSLANDSURVEYING.COM
 PH. (727) 347-8740
 FAX (727) 344-4640

CERTIFIED TO: Lisa Schweitzer
 Stifel Bank
 JEM Title Services, LLC d/b/a Cmmms Title
 Fidelity National Title Insurance Company
 SCALE: 1" = 30'
 Survey not valid for more than one (1) year from date of field work.
 SEC 14 TWP 31 S RGE 16 E



**APPROVED
 DEVELOPMENT REVIEW**

APR 22 2021

 By CUB

BOUNDARY SURVEY OF: Lots 8 and 9, Block 4, KENWOOD SUBDIVISION, as recorded in Plat Book 3, Page 25 of the
 Public Records of Pinellas County, Florida.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in
 Flood zone: X
 Comm. Panel No.: 125148 0218 G Map Date: 9/03/03 Base Flood Elev.: NA

THE EXCLUSIVE USE OF THIS MERIDIAN PARTY BEARS, I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH ELEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LAND, OR ON THE SURFACE OF
 THE LANDS AND NOT VISIBLE), AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 5A-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND
 BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY
 IS NOT VALID WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMPLOYED BY A
 LICENSED SURVEYOR AND BASED ON PLAT, UNLESS OTHERWISE NOTED.

ADDITIONAL TERMS TO PROPOSAL

1. Down payment is a non-refundable deposit which is earned upon receipt and used to obtain permits, materials, and any other expenses incurred.
2. Work shall be completed substantially in conformance with the terms outlined in this Proposal. All changes must be approved in writing by Westside Lanai and any additional expenses shall be borne by the customer.
3. Westside Lanai reserves the right to substitute building materials, appliances, equipment, fixtures, or other items that are not specifically identified in this Proposal or that are not available. Substitute materials shall be of substantially similar or better quality than those specified.
4. Work shall be completed within a reasonable amount of time. Westside Lanai does not guarantee completion of work by a date certain unless that date is specifically included in this Proposal.
5. Westside Lanai is not responsible for the following: existing building code violations, unforeseen or hidden conditions that may affect the scope of work and or schedule, additional work requested by the building inspectors, asbestos related expenses or testing, slab x-rays, remedial work to existing utilities, the removal or remediation of any mold or hazardous materials as defined by the Environmental Protection Agency, any other work not described in this proposal.
6. Customer agrees that the supervision of the work performed under this Proposal is at the exclusive direction of Westside Lanai, and Westside Lanai shall have control over construction means, methods, techniques, sequences, and procedures for coordinating all portions of the work. Owner shall not interfere with work, nor cause additional work to be carried on without the written consent of Westside Lanai.
7. CHAPTER 558 NOTICE OF CLAIM: CHAPTER 558, FLORIDA STATUTES, CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY BRING ANY LEGAL ACTION FOR AN ALLEGED CONSTRUCTION DEFECT. SIXTY DAYS BEFORE YOU BRING ANY LEGAL ACTION, YOU MUST DELIVER TO THE OTHER PARTY TO THIS CONTRACT A WRITTEN NOTICE, REFERRING TO CHAPTER 558, OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE AND PROVIDE SUCH PERSON THE OPPORTUNITY TO INSPECT THE ALLEGED CONSTRUCTION DEFECTS AND TO CONSIDER MAKING AN OFFER TO REPAIR OR PAY FOR THE ALLEGED CONSTRUCTION DEFECTS. YOU ARE NOT OBLIGATED TO ACCEPT ANY OFFER WHICH MAY BE MADE. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER THIS FLORIDA LAW WHICH MUST BE MET AND FOLLOWED TO PROTECT YOUR INTERESTS.
8. Should any dispute arise relative to the performance of this Proposal, then the customer agrees that the dispute shall be resolved by binding arbitration conducted by the American Arbitration Association promptly after the matter in dispute arises and in no event longer than two (2) years after the date of this Proposal. Westside Lanai shall be entitled to recover all costs, loss of work and earnings, and expenses (including but not limited to reasonable attorneys' fees) incurred as a result of the dispute should Westside Lanai prevail in litigation or arbitration.
9. Customer may terminate this Proposal by only providing written notice to Westside Lanai of intent to terminate specifying reason for termination and allowing seven (7) days for Westside Lanai to cure. Customer will be responsible for all costs associated with such termination unless it is due to Westside Lanai's failure to substantially comply with the terms of this Proposal.
10. Westside Lanai agrees to promptly make good any and all defects due to faulty workmanship which may appear within one year from the date of completion provided that the customer is not in breach of this Proposal including having paid in full all monies due. Any implied warranties including but not limited to warranties of merchantability, fitness for a particular purpose, habitability, and good workmanship are disclaimed and limited to provisions of this section.
11. Customer waives any rights or claims against Westside Lanai for any personal injuries and or property damages incurred by anyone other than Westside Lanai or its subcontractors on the property during the period of work, and shall indemnify, defend and hold same harmless from any claims asserted for such alleged injuries and or damage. Customer shall hold Westside Lanai harmless and shall defend and indemnify same for any claims, actions, suits, awards, damages, or other liability, including, without limitation, attorney's fees, professional witness fees, court costs, and other charges, arising out of or related to (i) customer's breach of any term, condition, or representation in this Proposal; or (ii) arising out of or related to any claims, actions, awards, liabilities, or damages for any injury to person or personal property arising out of customer's visits (including invitees and guests) to the premises and/or residence. For purposes of any indemnification provisions in this Proposal, the term "Westside Lanai" shall include its respective officers, directors, employees, agents, sureties, subcontractors, suppliers and servants.
12. This Proposal will be construed, interpreted, and applied according to Florida law. This Proposal shall not be assigned without written consent.
13. Westside Lanai shall not be liable for any failure of or delay in the performance of this Proposal for the period that such failure or delay is due to causes beyond its reasonable control, including but not limited to acts of God, war, strikes or labor disputes, embargoes, unavailability of materials, government orders or any other force majeure event.
14. The invalidity or unenforceability of any provisions of this Proposal shall not affect the validity or enforceability of any other provision of this Proposal, which shall remain in full force and effect.
15. This Proposal constitutes the entire agreement between Westside Lanai and customer, and supersedes all prior negotiations, representations, understandings and agreements, either written or oral. This Proposal may be amended only by written instrument signed by both Westside Lanai and customer. Customer acknowledges that Builder has made no guarantees, warranties, understandings, nor representations that are not included in this Proposal.

Signature

Signature

Date

Date

2/11/2121

ADDENDUM

(FOR PROPOSALS OF \$2500 OR MORE)

ACCORDING TO FLORIDA'S CONSTRUCTION LIEN LAW (SECTIONS 713.001-713.37, FLORIDA STATUTES), THOSE WHO WORK ON YOUR PROPERTY OR PROVIDE MATERIALS AND SERVICES AND ARE NOT PAID IN FULL HAVE A RIGHT TO ENFORCE THEIR CLAIM FOR PAYMENT AGAINST YOUR PROPERTY. THIS CLAIM IS KNOWN AS A CONSTRUCTION LIEN. IF YOUR CONTRACTOR OR A SUBCONTRACTOR FAILS TO PAY SUBCONTRACTORS, SUB-SUBCONTRACTORS, OR MATERIAL SUPPLIERS, THOSE PEOPLE WHO ARE OWED MONEY MAY LOOK TO YOUR PROPERTY FOR PAYMENT, EVEN IF YOU HAVE ALREADY PAID YOUR CONTRACTOR IN FULL. IF YOU FAIL TO PAY YOUR CONTRACTOR, YOUR CONTRACTOR MAY ALSO HAVE A LIEN ON YOUR PROPERTY. THIS MEANS IF A LIEN IS FILED YOUR PROPERTY COULD BE SOLD AGAINST YOUR WILL TO PAY FOR LABOR, MATERIALS, OR OTHER SERVICES THAT YOUR CONTRACTOR OR A SUBCONTRACTOR MAY HAVE FAILED TO PAY. TO PROTECT YOURSELF, YOU SHOULD STIPULATE IN THIS CONTRACT THAT BEFORE ANY PAYMENT IS MADE, YOUR CONTRACTOR IS REQUIRED TO PROVIDE YOU WITH A WRITTEN RELEASE OF LIEN FROM ANY PERSON OR COMPANY THAT HAS PROVIDED TO YOU A "NOTICE TO OWNER." FLORIDA'S CONSTRUCTION LIEN LAW IS COMPLEX, AND IT IS RECOMMENDED THAT YOU CONSULT AN ATTORNEY.

FLORIDA HOMEOWNERS' CONSTRUCTION RECOVERY FUND PAYMENT, UP TO A LIMITED AMOUNT, MAY BE AVAILABLE FROM THE FLORIDA HOMEOWNERS' CONSTRUCTION RECOVERY FUND IF YOU LOSE MONEY ON A PROJECT PERFORMED UNDER CONTRACT, WHERE THE LOSS RESULTS FROM SPECIFIED VIOLATIONS OF FLORIDA LAW BY A LICENSED CONTRACTOR. FOR INFORMATION ABOUT THE RECOVERY FUND AND FILING A CLAIM, CONTACT THE FLORIDA CONSTRUCTION INDUSTRY LICENSING BOARD AT THE FOLLOWING TELEPHONE NUMBER AND ADDRESS: Construction Industry Licensing Board 2601 Blairstone Road Tallahassee, FL 32399-1039 (850) 487-1395.

Signature 

Date 2/11/21

Signature _____

Date _____

General Notes

A. CONCRETE & FOUNDATION DESIGN:

1. ALL CONCRETE GRADE BEAMS AND FOOTINGS SHALL BE 3000 PSI MINIMUM.
2. ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MINIMUM, 3 1/2" NOMINAL THICKNESS.
3. FIBERMESH (3/4" PER CUBIC YARD MIN.) MEETING APPROPRIATE ACI AND ASTM REQUIREMENTS MAY BE USED IN LIEU OF WELDED WIRE MESH
4. ALL SLABS ON GRADE SHALL BE 4" THICK WITH FIBERMESH.
5. ALL REINFORCING SHALL CONFORM TO ASTM A615, BE GRADE 60 (60 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40
6. ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 2" MINIMUM THICKNESS.
7. SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF.
8. THE CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING:
OPC (PORTLAND CEMENT TYPE I, - ASTM C 150).
AGGREGATES - #6 STONE, ASTM C 33 SIZE NO. 67 LESS THAN 3/4".
AIR ENTRAINING +/- 1% - ASTM C 260.
WATER REDUCING AGENT - ASTM C 494.
CLEAN POTABLE WATER.
OTHER ADMIXTURES SHALL NOT BE PERMITTED.
9. METAL WELDED WIRE SHALL CONFORM TO ASTM A 185.
10. PREPARE & PLACE CONCRETE ACCORDING TO AMERICAN CONCRETE INSTITUTE MANUAL STANDARD PRACTICE, PART 1, 2, & 3 ALONG WITH HOT WEATHER CONDITIONS RECOMMENDATIONS.
11. IF UTILIZING EXISTING CONCRETE FOR FOUNDATION, CONCRETE SHALL BE A MINIMUM OF 4" IN THICKNESS, VISIBLY FREE OF ANY STRUCTURAL EXCESSIVE CRACKING, SPALLING OR OTHER DETERIORATION.

B. MASONRY:

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE OF TYPE M OR S.
3. ALL GROUT SHALL BE 2000 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

C. ALUMINUM:

1. ALL STRUCTURAL ALUMINUM SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY WITH A MINIMUM THICKNESS OF 0.040" FOR SUPPORTING MEMBERS.
2. WHERE KICK PLATES ARE USED A MINIMUM THICKNESS OF 0.024" SHALL APPLY.
3. STRUCTURAL ALUMINUM DESIGN CONFORMS TO "PART 1-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OR "PART 1-B - SPECIFICATIONS FOR ALUMINUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN" OF THE ALUMINUM DESIGN MANUAL PREPARED BY THE ALUMINUM ASSOCIATION, INC. WASHINGTON D.C. THE FLORIDA BUILDING CODE 7TH EDITION (CHAPTER 16 STRUCTURAL DESIGN & CHAPTER 20 ALUMINUM).
4. WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION.
5. ALUMINUM MEMBERS SHALL BE STITCHED WITH NO LESS THAN #10 SMS 6" FROM THE ENDS AND 12" ON CENTER, IF USING #12 SPACING MAY BE 24" ON CENTER.
6. VINYL AND ACRYLIC PANELS SHALL BE REMOVABLE. THEY SHALL BE IDENTIFIED WITH A DECAL ESSENTIALLY STATING "REMOVABLE PANEL SHALL BE REMOVED WHEN WIND SPEEDS EXCEED 75 MPH". DECAL SHALL BE PLACED SO IT IS VISIBLE WHEN PANEL IS INSTALLED.
7. 1"X2"X0.045" NON-STRUCTURAL MEMBERS SHALL BE ATTACHED TO HOST WITH 1/4"Ø X 1-3/4" EMBEDMENT & 24" O.C. MASONRY SCREW FOR CONCRETE & EQUIVALENT SIZE WOOD SCREW WHEN IN WOOD & #10X 1/2" EMBEDMENT SMS OR TEK SCREWS IN ALUMINUM MEMBERS TYPICAL.

D. FASTENERS:

1. ALL LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZES BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD.

2. HEX BOLTS HAS TO BE ASTM A 325, PLATED WITH STANDARD FLAT WASHERS AND NUTS.
3. ALL CONCRETE SCREWS SHALL BE, SIMPSON, HILTI, RAWL, TAPCON, REDHEAD, DYNABOLT, PORTECT OR APPROVED EQUAL.
4. ALL METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GALVANIZED.
5. ALL LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8X BOLT DIAMETER INTO STRUCTURAL FRAMING (G= .42 MIN.).
6. LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW. ALL LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
7. ALL EXPANSION ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH THE SPECIFIC MANUFACTURER'S REQUIREMENTS AND ALLOWABLE LOADS AND SHALL ONLY BE APPLIED IN CONDITIONS ACCEPTABLE TO MANUFACTURER. FASTENERS SHALL BE A MINIMUM OF SAE GRADE #5 OR BETTER ZINC PLATED.
8. ALL FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8, UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD, OR OTHERWISE NOTED ON PLANS.
9. ALL FASTENERS SHALL COMPLY WITH ASTM A153.
10. ALL CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185.
11. FOR SMS, THE MINIMUM CENTER-TO-CENTER SPACING SHALL BE 3/4" AND MINIMUM CENTER-TO-EDGE SHALL BE 1/2" UNLESS NOTED OTHER WISE.

E. REFERENCE STANDARDS:

- ASTM E 119
- ASTM E 1300
- CURRENT ASCE 7
- CURRENT ALUMINUM DESIGN MANUAL-AA ASM35, AND SPEC. FOR ALUMINUM PART 1-A, & 1-B
- ASTM C94
- ASTM C150
- ASTM C33
- ASTM C260
- ASTM C494
- ASTM A615
- ASTM A185
- FLORIDA BUILDING CODE 7TH EDITION (CHAPTERS 16, 20 & 23).

F. ABBREVIATIONS:

- THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS.
1. TYP - TYPICAL
 2. SIM - SIMILAR
 3. UON -- UNLESS OTHERWISE NOTED
 4. CONT - CONTINUOUS
 5. VIF -- VERIFY IN FIELD

G. RESPONSIBILITY:

1. ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS.
3. THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE 'SUNROOM' ROOM ADDITION ELEMENTS AS PROVIDED BY THE CONTRACTOR.
4. ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR AND MANUFACTURER.
5. ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED BY A LICENSED P.E. IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES.

H. MISCELLANEOUS:

1. ALUMINUM ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE 4TH WALL SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO

- ADDITIONAL LOADING IS PLACED ON THE MANUFACTURED HOME.
2. IF ENCLOSURE CONTAINS A SWIMMING POOL OR SPA, THE ENCLOSURE SHALL COMPLY WITH RESIDENTIAL SWIMMING BARRIER REQUIREMENTS OF THE FBC 7TH EDITION R 4501.17 IN ITS ENTIRETY.
3. DOOR LOCATIONS MAY BE DETERMINED IN THE FIELD BY CONTRACTOR.
4. IF PAVERS ARE UNDER ALUMINUM MEMBERS THEY SHALL HAVE EPOXY ADHESIVE TO CONCRETE OR IF USING GROUT, ENSURE BONDING AGENT IS USED FIRST AND ADHERED WITH MINIMUM 3000 PSI GROUT.
5. SCREENING MATERIAL SHALL BE 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH ONLY UNLESS NOTED ON DRAWING S-2.

**BUILDING DIVISION
OFFICE COPY**

DESIGN DATA:

1. ULTIMATE DESIGN WIND SPEED V_{ult} , (3 SECOND GUST): **140 MPH**
- NOMINAL DESIGN WIND SPEED V_{asd} : **108 MPH**
2. RISK CATEGORY: **1**
3. WIND EXPOSURE: **B**
4. WIND LOADS:
SCREEN ROOF: N/A
SCREEN WALLS: N/A
SOLID ROOF (SCREEN WALL): 23 PSF
5. FACTOR APPLIED TO SCREEN WIND LOADS FOR 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH: N/A
6. FACTOR APPLIED TO SCREEN WIND LOADS FOR ALLOWABLE STRESS DESIGN: 0.6
7. LIVE LOAD:
300 lb. VERTICAL DOWNLOAD ON PRIMARY SCREEN ENCLOSURE MEMBERS.
200 lb. VERTICAL DOWNLOAD ON SCREEN ENCLOSURE PURLINS.
10 PSF VERTICAL DOWNLOAD ON SOLID ROOF.
8. PROPOSED 12"X12" W/ (1) # 5 OR (2) # 4 REBAR W/ 25" OVERLAP ON 3" CHAIRS W/ 4" MONOLITHIC SLAB W/ FIBER-MESH FILLED W/ 3000 PSI SHALL BE ADEQUATE TO RESIST THE UPLOADS FOR THE PROPOSED STRUCTURE.
9. SCREEN ROOF TYPE: N/A
10. SOLID ROOF TYPE: 3"X48"X0.032" ELITE EPS COMPOSITE PANEL ROOF 1lb FOAM DENSITY, FLORIDA PRODUCT APPROVAL, FL 7561-R5.

ALUMINUM STRUCTURAL MEMBERS

HOLLOW SECTIONS

- 2 x 2: -----2" x 2" x 0.044"
- 2 x 3: -----2" x 3" x 0.050"
- 2 x 4: -----2" x 4" x 0.050"
- 2 x 5: -----2" x 5" x 0.050"
- 3 x 3: -----3" x 3" x 0.125"

OPEN BACK SECTIONS

- 1 x 2: -----1" x 2" x 0.040"
- 1 x 3: -----1" x 3" x 0.045"

SNAP SECTIONS

- 2 x 2 SMS:-----2" x 2" x 0.045"
- 2 x 3 SMS:-----2" x 3" x 0.072"
- 2 x 4 SMS:-----2" x 4" x 0.045"
- 3 x 3 SMS:-----3" x 3" x 0.090"

SELF MATING (SMB)

- 2 x 4 SMB:-----2" x 4" x 0.044" x 0.100"
- 2 x 5 SMB:-----2" x 5" x 0.050" x 0.118"
- 2 x 6 SMB:-----2" x 6" x 0.050" x 0.120"
- 2 x 7 SMB:-----2" x 7" x 0.057" x 0.120"
- 2 x 8 SMB:-----2" x 8" x 0.072" x 0.224"
- 2 x 9 SMB:-----2" x 9" x 0.072" x 0.224"
- 2 x 10 SMB:-----2" x 10" x 0.092" x 0.374"

TUBE SECTIONS

- 2 x 2: -----2" x 2" x 0.090"



PROFESSIONAL ENGINEER SEAL

ENGINEER OF RECORD:

- David W. Smith P.E.
FLORIDA LICENSE: 53608
- Thomas L. Hanson P.E.
FLORIDA LICENSE: 38654
- Myron Max Neal P.E.
FLORIDA LICENSE: 86663
- Joel Falardeau P.E.
FLORIDA LICENSE: 70667
- Erik Stuart P.E.
FLORIDA LICENSE: 77605

FBC Plans & Engineering Services, Inc.

6272 Abbott Station Dr. Unit 101
Zephyrhills, FL 33542
Ph# (813)788-5314
Fax# 1-(866)824-7894
E-mail-erb@fbcplans.com
Website-www.fbcplans.com
C.O.A.-#29054

DATE: 03/31/2021

DRAWN BY: ST

REVISION:	DATE:
RO 1	
RO 2	
RO 3	
RO 4	

Job# 21_0331_572

PROJECT ADDRESS:

SCHWEITZER
3049 7TH AVE N
ST. PETERSBURG, FL 33702

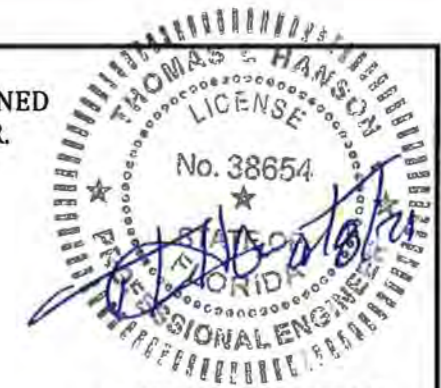
CONTRACTOR:

WESTSIDE LANAI
4029 8TH AVE. S.
ST. PETERSBURG, FL 33711

NOTES
S-1



DOOR LOCATION MAY BE DETERMINED
IN THE FIELD BY THE CONTRACTOR.



PROFESSIONAL ENGINEER SEAL

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DRAWN BY: ST

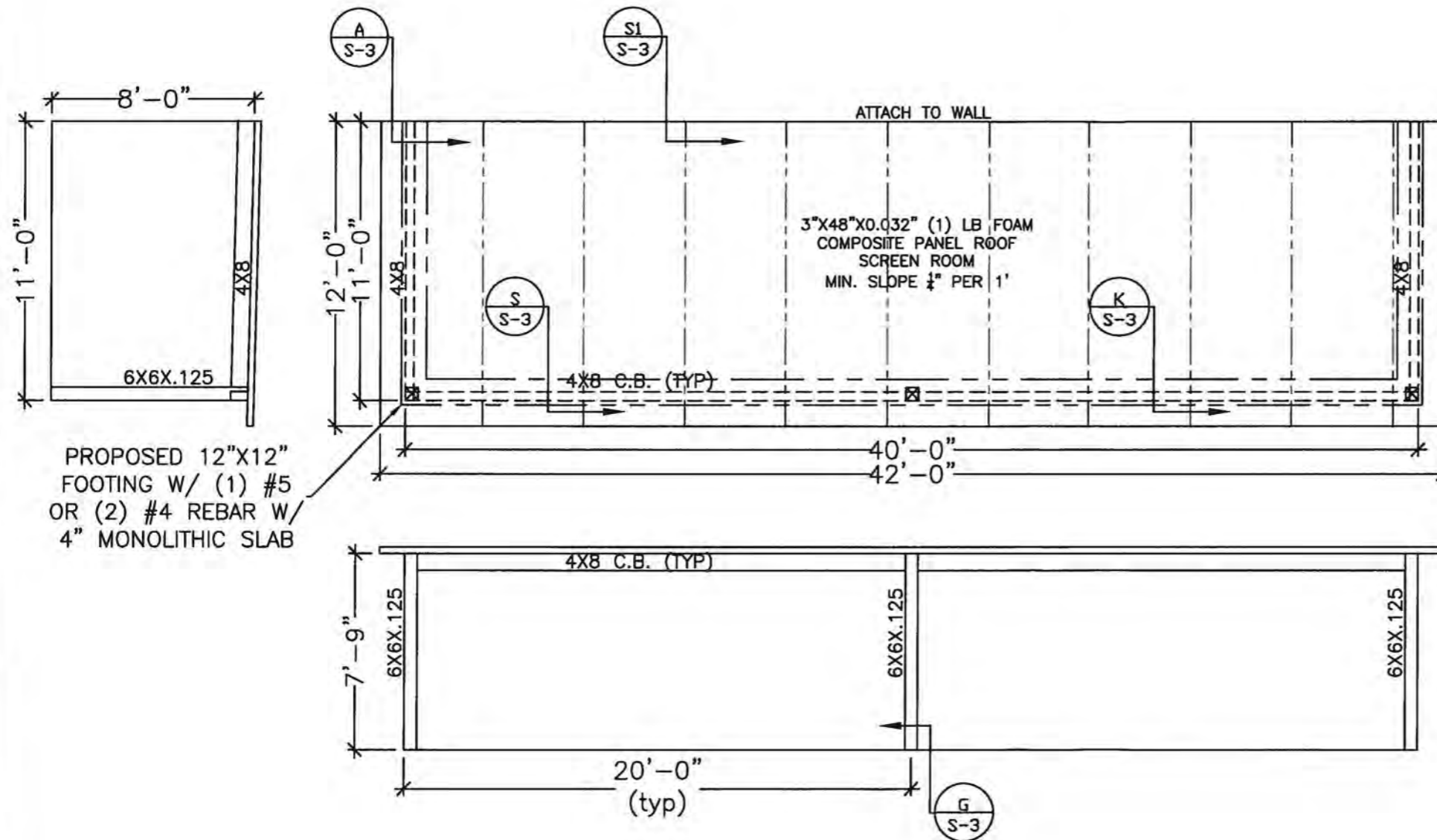
REVISION:	DATE:
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RO 2	
RO 3	
RO 4	

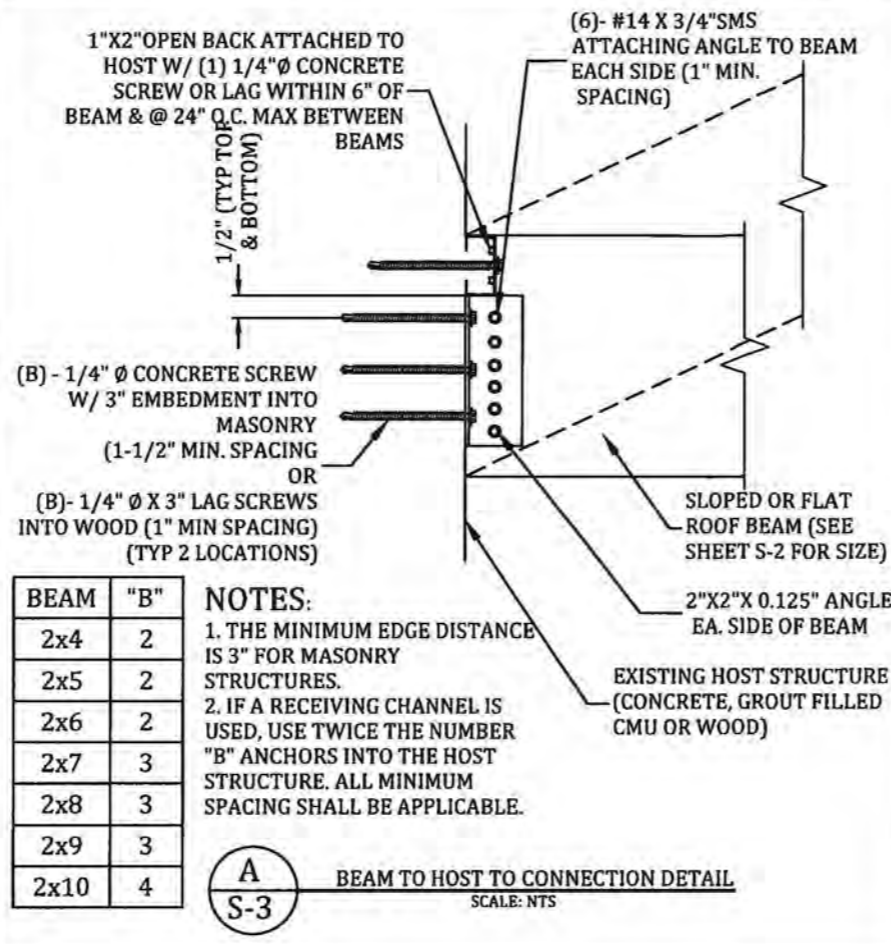
Job# 21_0331_572
PROJECT ADDRESS:
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ST. PETERSBURG, FL 33702

CONTRACTOR:
WESTSIDE LANAI
4029 8TH AVE. S.
ST. PETERSBURG, FL 33711

FLOOR PLAN

S-2

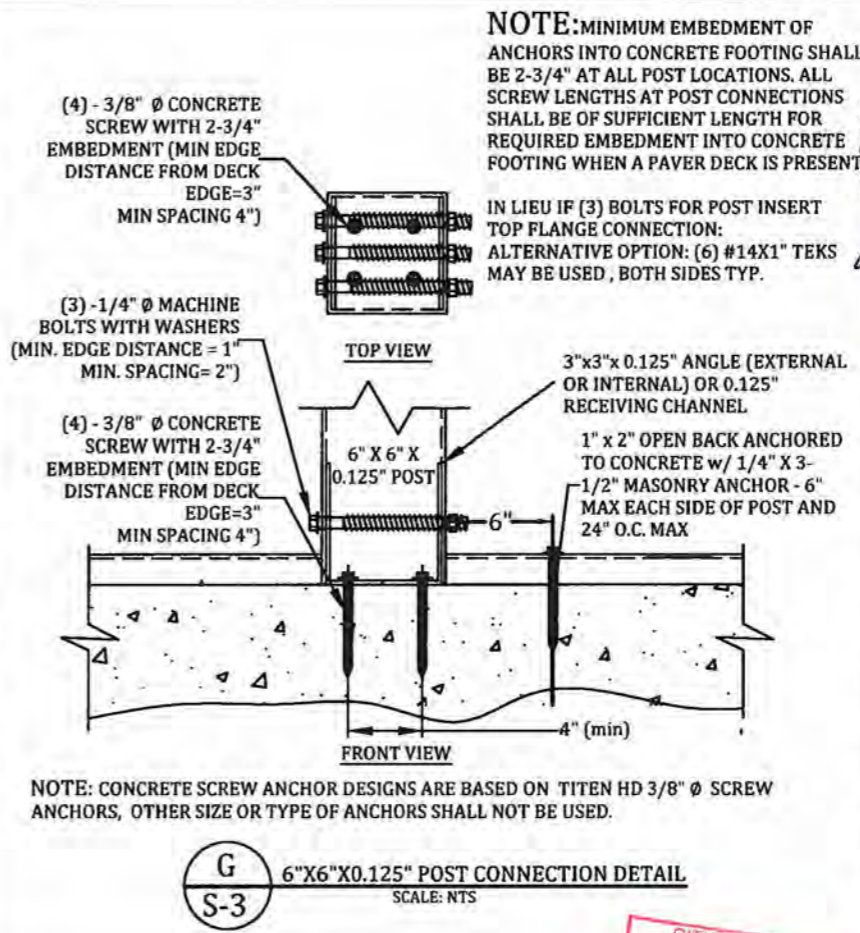




BEAM	"B"
2x4	2
2x5	2
2x6	2
2x7	3
2x8	3
2x9	3
2x10	4

NOTES:
 1. THE MINIMUM EDGE DISTANCE IS 3" FOR MASONRY STRUCTURES.
 2. IF A RECEIVING CHANNEL IS USED, USE TWICE THE NUMBER "B" ANCHORS INTO THE HOST STRUCTURE. ALL MINIMUM SPACING SHALL BE APPLICABLE.

A
 S-3 BEAM TO HOST TO CONNECTION DETAIL
 SCALE: NTS

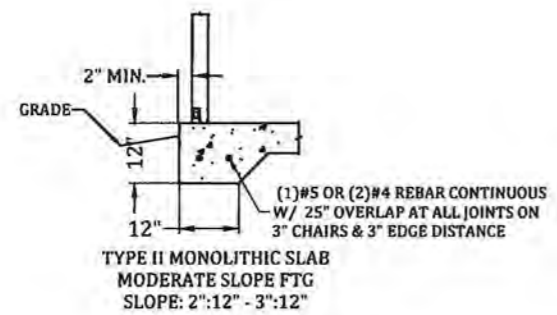


NOTE: MINIMUM EMBEDMENT OF ANCHORS INTO CONCRETE FOOTING SHALL BE 2-3/4" AT ALL POST LOCATIONS. ALL SCREW LENGTHS AT POST CONNECTIONS SHALL BE OF SUFFICIENT LENGTH FOR REQUIRED EMBEDMENT INTO CONCRETE FOOTING WHEN A PAVER DECK IS PRESENT.

IN LIEU IF (3) BOLTS FOR POST INSERT TOP FLANGE CONNECTION:
 ALTERNATIVE OPTION: (6) #14X1" TEKS MAY BE USED, BOTH SIDES TYP.

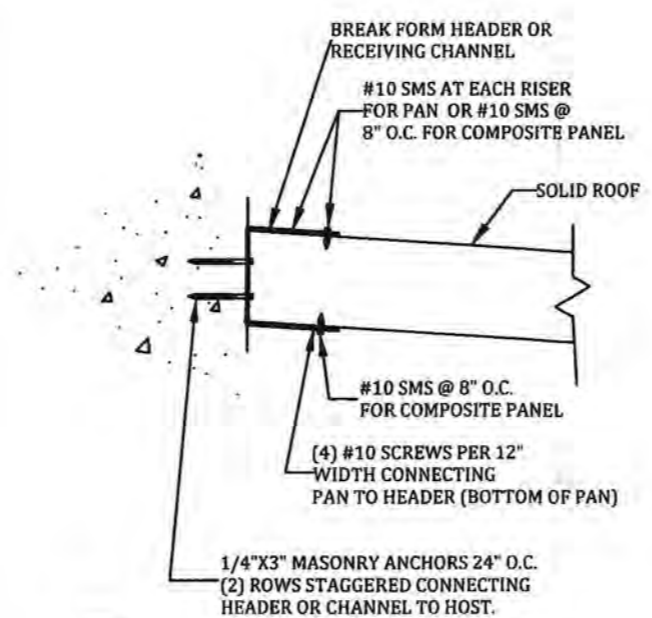
NOTE: CONCRETE SCREW ANCHOR DESIGNS ARE BASED ON TITEN HD 3/8" Ø SCREW ANCHORS. OTHER SIZE OR TYPE OF ANCHORS SHALL NOT BE USED.

G
 S-3 6"X6"X0.125" POST CONNECTION DETAIL
 SCALE: NTS

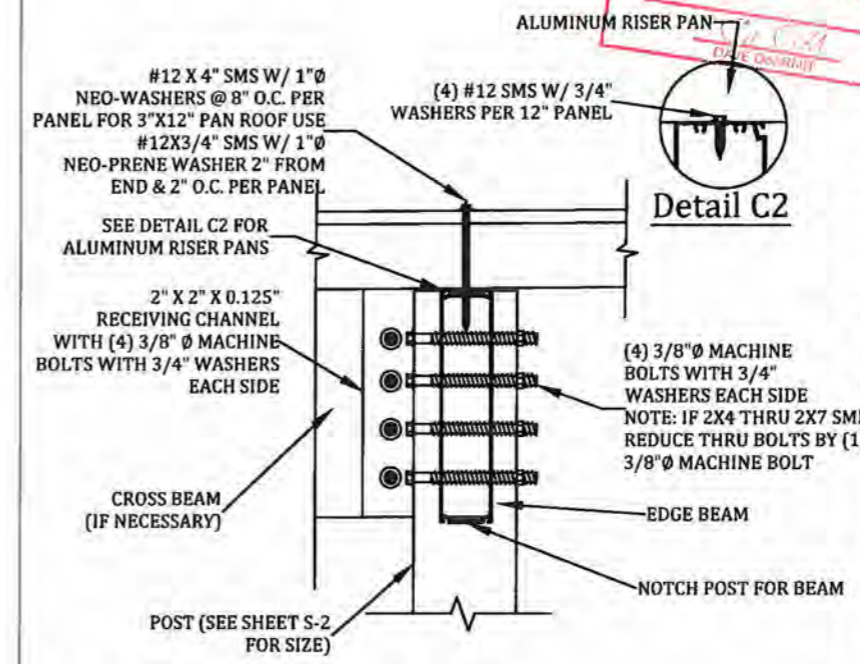


NOTES FOR ALL FOUNDATION TYPES:
 1. THE FOUNDATIONS SHOWN ARE BASED ON A MINIMUM SOIL BEARING PRESSURE OF 1,500 PSF. THE BEARING CAPACITY OF THE SOIL VERIFIED BY A LICENSED CONTRACTOR PRIOR TO ANY POURING OF CONCRETE.
 2. THE SLAB/FOUNDATION MUST BE CLEARED OF ALL DEBRIS, AND COMPACTED PRIOR TO POURING OF ANY CONCRETE.
 3. CONCRETE MEET THE SPECIFICATIONS IN THE S-1 NOTES PAGE.

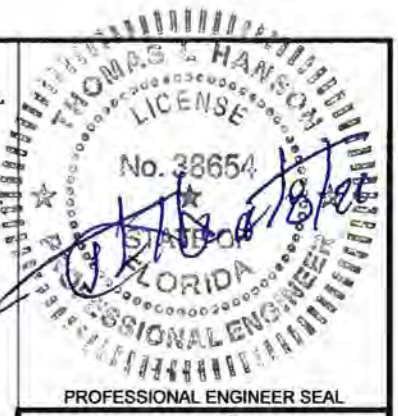
K
 S-3 TYPE II MONOLITHIC SLAB/ FOOTING
 SCALE: NTS



S1
 S-3 ROOF PANEL TO WALL CONNECTION DETAILS
 SCALE: NTS



S
 S-3 ROOF PANEL TO EDGE OR INTERMEDIATE BEAM CONNECTION DETAIL
 SCALE: NTS



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DETAILS
S-3



Patio Covers & Carports



Insulated Patio Covers

Has the blazing sun stopped you from your outdoor activities? The sweltering heat can drain you of energy, keep you indoors, and leave you without enjoying your time outside. Find relief from the heat with a Four Seasons Building Products patio cover.

Solid Insulated Covers.

Four Seasons Building Products' insulated patio cover cores are manufactured using expanded polystyrene technology. This manufacturing process has been recognized by architects around the world for its superior insulating characteristics and it gives you complete protection from nature's elements. The insulated core, housed by two heavy gauge aluminum layers, provides superior protection from the outdoor heat and reduces sound created by heavy rainfall.

A fashionable addition to the insulated patio covers is the Illumaview Natural Light System. These optional natural light panels allow moderate amounts of light under your patio cover. The patented design interlocks seamlessly with the insulated panels. The polycarbonate materials used in these panels are impervious to discoloration or cracking, and they filter the sun's ultraviolet rays.

Finally, insulated patio covers provide the perfect roof line should you plan to build a room enclosure at a later date. Simply add walls, windows, and a door to transform your patio cover into a room enclosure.



Roll-Formed Covers

An additional option for solid shade covers are the Four Seasons Building Products roll-formed patio covers. Engineered for durability and strength, Four Seasons Building Products roll-formed patio covers and carports are trouble-free and provide simple solutions for shading your home.



Riser Pan Covers. With Riser pan patio covers are manufactured from heavy gauge aluminum or alloy. The riser pan cover's design is sleek and seamless for a flat ceiling.



“W” Pan Covers. The W-Pan covers are engineered with the latest roll forming technology to expand farther than any other solid patio cover on the market using less support columns.

Design Options

Using lattice components allows you to dress up your patio cover and is applicable to all Four Seasons Building Products patio covers. Choose from four different end cuts.



Scallop



Bevel



Miter



Corbel

Combination Covers

Are you torn on the patio cover you'd like for your home? You like the idea of solid shade for some areas, but the thought of partial shade also seems appealing? Choose to have both. Four Seasons Building Products patio covers are designed to give you versatility. Combining Elitewood lattice and a solid patio covers is a popular choice for many homeowners.





Features

	Insulated Patio Covers	Flat Pan Patio Covers	“W” Pan Patio Covers
Blocks UV Rays	✓	✓	✓
Lattice Wrap	✓	✓	✓
Gutters and Leaf Guards	✓	✓	✓
Not Rust, Warp, Crack, or Rot	✓	✓	✓
Resistant to Insect Infestation	✓	✓	
Transferable Lifetime Warranty	✓	✓	✓
Natural Wood Emboss*	✓	✓	
Supports Screen Enclosures	✓	✓	✓
Supports Window Enclosures	✓		✓
Radiant Heat Barrier	✓		
Noise Barrier	✓		
IllumaView Panels	✓		
Supports Weight	✓		
Supports Ceiling Fans	✓		

*Natural Wood Emboss is a special ordered item. Additional costs and lead time may apply.

Warranty

Four Seasons Building Products patio covers come with the industry’s best warranty. Ask your participating dealer for warranty details on the specific patio cover of your choice.

Four Seasons Building Products Dealer:



Four Seasons Building Products are committed to environmentally friendly products and sustainable business practices.





Appendix B:

Maps of Subject Property

The Kenwood Section
– Northwest Kenwood Local Historic District



Community Planning and Preservation Commission

3049 7th Ave N

**AREA TO BE APPROVED,
SHOWN IN**



**CASE NUMBER
21-90200067**



**SCALE:
1" = 170'**

The Kenwood Section
- Northwest Kenwood Local Historic District

9TH AVE N

8TH AVE N

7TH AVE N

6TH AVE N

32ND ST N

31ST ST N

30TH ST N



Community Planning and Preservation Commission

3049 7th Ave N

AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

21-90200067



SCALE:
1" = 170'

Appendix C:
Public Comment

Date: September 4, 2021
To: Laura Duvekot
From: Georgia Earp, 3140 7th Ave N
Re: Case Number 21-90200067 – 3049 7th Ave N

To maintain the charm and character of our neighborhood, we worked hard in 2018 and 2019 to gather support for the local historic designation of the 248 properties in the Northwest Kenwood area. I do not think the fence in front of 3049 7th Ave N is appropriate for our historic neighborhood. My opposition to the wood fence is for the following reasons:

1. The 4-foot-high solid wood fence at 3049 7th Ave N is out of place in an historic neighborhood. It negatively impacts the historic integrity and character of the district. Fences built in the past, were lower in height, had transparency and were painted.
2. Unlike other front yard fences in the neighborhood, the subject fence is bulky and obscures the house, which was built in 1935 and contributes to the historic designation of the neighborhood. The fence creates a “fortress” in a neighborhood known for its front porches and openness.
3. Very few of the front yards in the neighborhood are fenced. In those few homes with front-yard fences, the fences are shorter than the subject fence and have 50% transparency.
4. Section 16.40.040.3.5.C.9 of the Land Development Regulations establishes that “Fences and walls greater than 100 feet in length shall be articulated by columns or other visual breaks measuring at least two feet in width and spaced no more than 24 feet apart.” There are no such breaks in the subject fence.
5. Allowing this fence will set a bad precedent for future modifications to properties in our historic neighborhood.

Thank you for the opportunity to comment.